

# City of Aurora Infill Lot Information Packet

This document is intended to supplement the building permit process for individuals seeking to build / rebuild on vacant / demoed lots within the City of Aurora.

Last Revised : 05-08-2016

Please contact the Division of Engineering with any questions  
Associated with this document  
(630) 256-3200

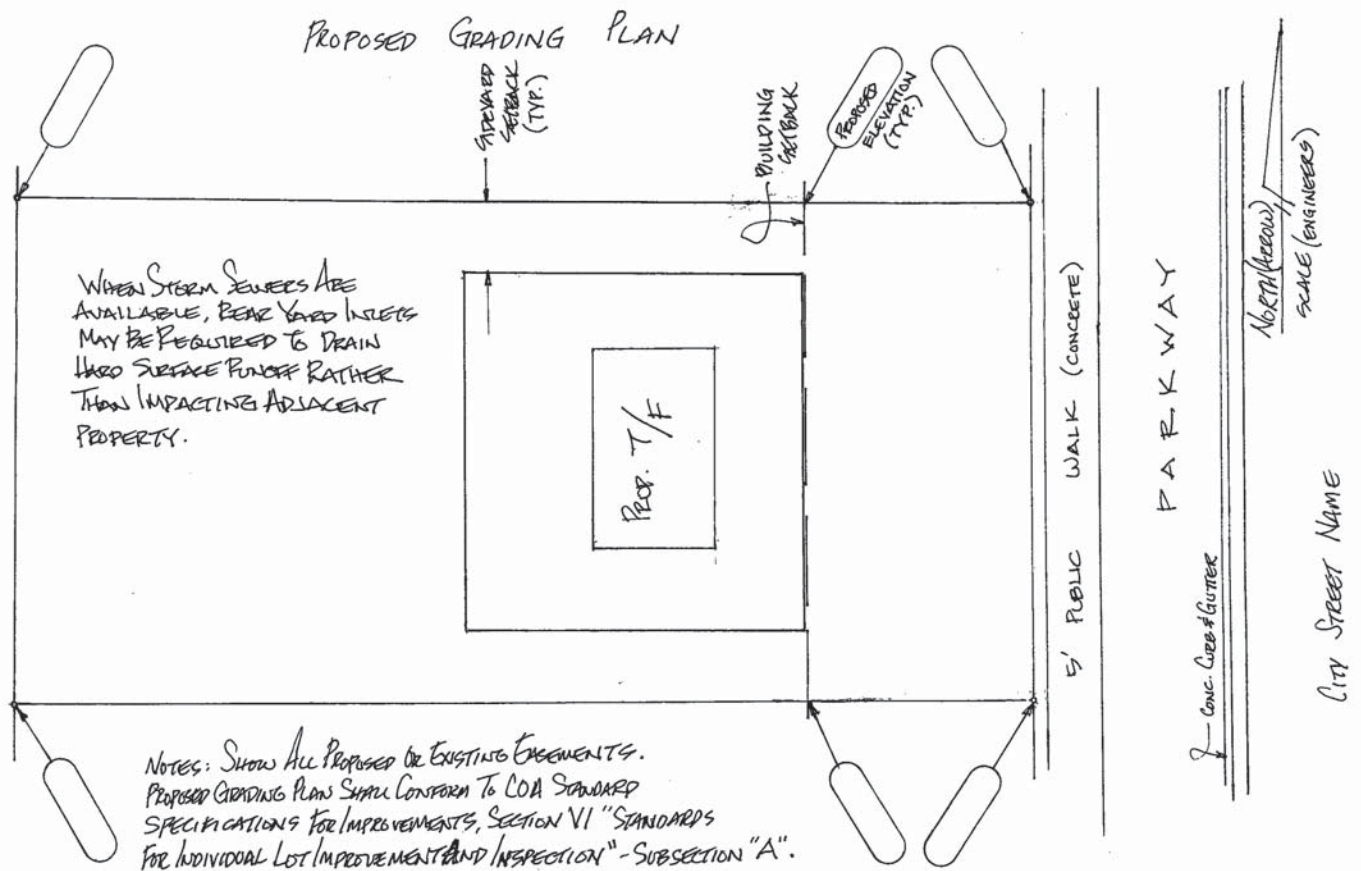
## **Section VI. Standards For Individual Lot Improvement And Inspection**

### **A. Prerequisites For Building Permits For A Lot Without A Master Grading Plan**

These standards detail requirement (2) of subsection (a) of Section 43-12. "Prerequisites to building permits."

In cases where a lot has no approved master grading plan, a proposed grading plan with the following information must be provided:

1. Show proposed elevations for the subject lot at all lot corners and proposed break points. Also show drainage arrows indicating the direction of flows to some positive outlet, i.e., a storm inlet drainage swale, or the street. Elevations at the point of outlet are required. Additional elevations may be required to verify that drainage directed offsite has a positive outlet as defined above.
2. Show proposed Top of Foundation elevations for the subject lot with said elevation being a minimum of two feet (2') above the existing top of curb, or crown of road if no curbing exists. For structures adjoining a defined or undefined drainage way, the lowest opening shall be one foot (1') above the 100 year flood elevation and shall be two feet (2') above the 100-year flood elevation when the tributary area is greater than 20 acres. For lots adjacent to lakes, ponds, etc., basement floors will be two feet (2') above Normal Water Level. In any event, conformance with City of Aurora Stormwater Ordinance is required if applicable.
3. Locate and display all existing or proposed utility structures, sidewalks, decks, driveways, handicap ramps, etc.
4. Lot line drainage slopes are to be a minimum of 2.0%, unless otherwise approved by the City Engineer.
5. Show existing Top of Foundation, (T/F) elevations on all adjacent foundations.
6. All elevations are to be related to NAVD 1988 datum.
7. Include the builder's name, address, and phone number on the plan. The plan shall be no larger than 11" x 17".
8. The plan must be prepared and sealed by an Illinois Professional Land Surveyor, or a registered Illinois Professional Engineer.
9. The following note may be required in some cases. "All hard surface drainage from sump pumps, driveways, downspouts, etc. shall be directed and drained to the streets."



Please show/identify existing watermain service line (size and type) and sanitary sewer line (size) to be used. If existing water service line is lead, it must be removed and replaced.



## B. Occupancy Permits

The following standards detail the requirements of item (2) of subsection (a) of Section 43-13 "Prerequisites to occupancy permits."

1. The builder's name; Subdivision Unit number and name, lot number, and the lot's common street address;
2. The elevation of the Top of Foundation, hereafter known as the "foundation elevation", at the time of survey and proposed foundation elevation as shown on the approved proposed grading plan. This elevation shall be acceptable when falling within a standard of up to six inches (6") high or one inch (1") low compared to the approved proposed foundation elevation for that lot; and further, any structure with foundation elevations not in accord with these standards shall require a revised individual lot grading plan to be prepared subject to the approval of the City Engineer, who shall approve of same only if the changes made will not adversely affect storm water management;
3. The location of the principal structures on each building site;
4. The proposed and existing lot elevations and drainage flow arrows;
5. The existing finished grade elevations at the corners of each structure;
6. The proposed and existing elevations of all drainage break points within the building site;
7. The existing slope, measured by percentage, of all drainage swales;
8. The location and elevations of the public sidewalk;
9. The existing location and elevation of every utility structure on the building site and in the public right-of-way adjacent thereto, including but not limited to, buffalo boxes, valve boxes, fire hydrants, catch basins, manholes, and inlets;
10. The seal and signature of an Illinois Registered Professional Land Surveyor, or Engineer, affixed thereto and containing the following certification statement:

"The final grading of this lot has been completed in substantial conformance with the approved proposed grading plan and in accordance with the standards established by the City of Aurora Standard Specifications for Improvement; the top of foundation elevation is within the acceptable standard and every exposed utility structure has been adjusted to finished grade."

These standards detail requirement (4) of subsection (a) of Section 43-13. "Prerequisites to occupancy permits."

### 1. Sanitary Manhole, Storm Manhole, Inlet, Catch Basin, Valve Vaults, And Clean Out

Checked for cleanliness (no construction debris or erosion material); rings not broken, cracked, or shifted, (all rings and frame must be concentric); butyl rope between rings; not covered with dirt or sod. Covers must have appropriate marking stamped on the lid. Hairline cracks on rings may be acceptable as long as seepage or rapid deterioration are not likely to occur. Inspector will lift cover to inspect rings. Structure must be adjusted to finished grade.

- a. Sanitary Manhole covers must have a gasket and be of the concealed pickhole style.
- b. Storm Manhole covers should be of the concealed pickhole style.
- c. Storm Inlets with fabric left in the inlets to assist in erosion control may be left in place until the last lot bordering the inlet is developed. This determination will be at the Inspector's discretion.
- d. Clean Outs will be checked to insure that the sump discharge is connected.

### 2. Water Valve

Checked to ensure that the sleeve is intact, straight, and has an appropriate cover with the words "CITY OF AURORA" cast in place. Valve is visible and straight. Inspector will key the valve and ensure that the sleeve is adjusted to finished grade. Inspector will use a straightedge from the sidewalk to the top of curb to determine the finished grade line.

### 3. Fire Hydrant

The City of Aurora standard specifications for improvements states that the centerline of the pumper nozzle "shall be 22 to 24 inches above the finished grade line ". This means that the breakaway flange should be 1 to 3 inches above the finished grade. The hydrant should be vertical with the two smaller pumper nozzles parallel to the back of curb. The auxiliary valve for each hydrant will be inspected in the same manner as in item 2.

### 4. Service B-Box

Will be visually inspected for damage, and to insure that the appropriate cap is unbroken, connected to the sleeve, and that the access plug in the cap unscrews independently of the cap. The inspector has only a straight and off-set key and will key the B-Box to determine serviceability. The top of the B-Box must be at finished grade. The builder must adjust the B-Box to finished grade if the inspection occurs prior to the placement of sod. The box must be straight and allow the key to move freely in the sleeve.

### 5. Curbs

Checked for cracks and gouges that constitute a defect, impedes proper drainage, or accelerates surface deterioration. Curb cuts not used must be replaced with the appropriate curb and gutter. Curbs must be clean for the inspection. Patching is not acceptable.

### 6. Walks And Drives

Same as item 5 above. All chipped and cracked sidewalks and drive approaches will be replaced; patches are not acceptable. Sidewalks are considered "chipped" and require replacement if the chips or gouges are greater than one and one half inches (1.5") in diameter or one half inch (1/2") deep. All handicap ramps must be finished with the proper pattern. The repair of structures located in sidewalks or driveway/drive approaches requires replacement of the entire section affected. Cutting or patching around the structure is not acceptable. Likewise any damage done to previously approved sidewalks or driveways in the replacement of chipped portions will be the builder's responsibility to correct.

### 7. Grading

A visual inspection will be made to determine the condition of the grade and if any gross problems with the drainage seem likely. The builder is responsible to ensure that no structure subject to inspection is covered either by soil or sod.

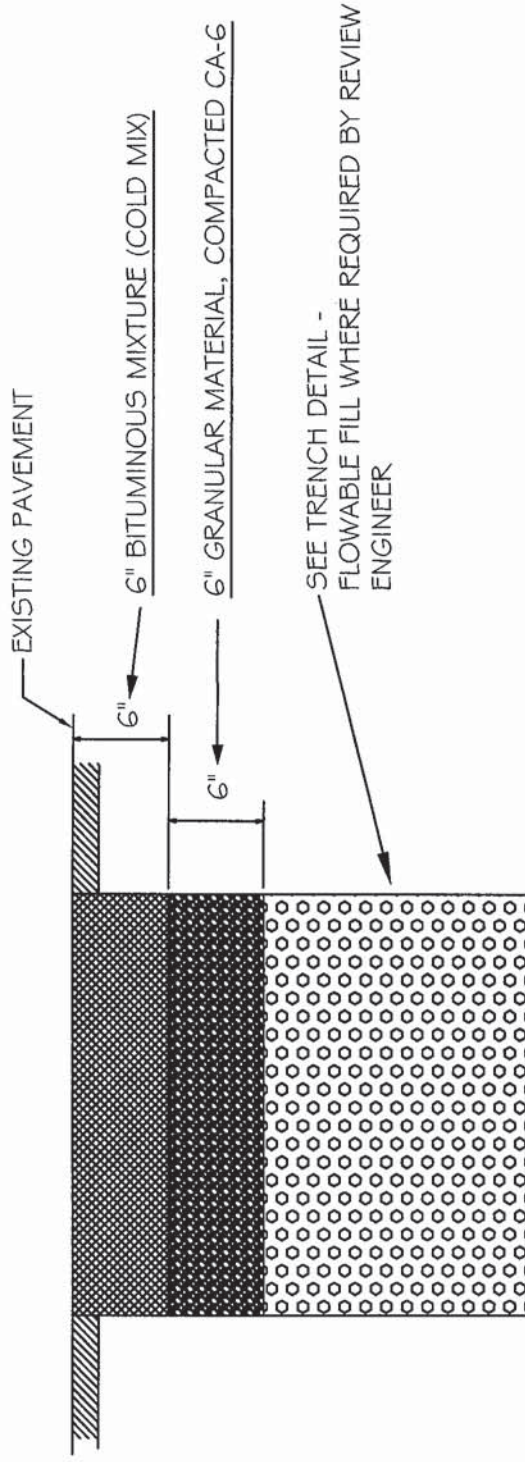
These standards detail item (i.) of paragraph (a.), and item (ii.) of paragraph (a.) of requirement (6.) of subsection (a) of Section 43-13. "Prerequisites to occupancy permits."

Bonding amounts for incomplete work.

- a. Final grading and as-built plan preparation \$ 2,000.00
- b. Lot inspection item \$ 1,500.00
- c. Both (a.) & (b.) \$ 3,500.00
- d. For any commercial site \$ 5,000.00
- e. For any Multi-Family building \$ 1,500.00/Unit\*


\*All units in a building must be bonded at the time first temp is requested.

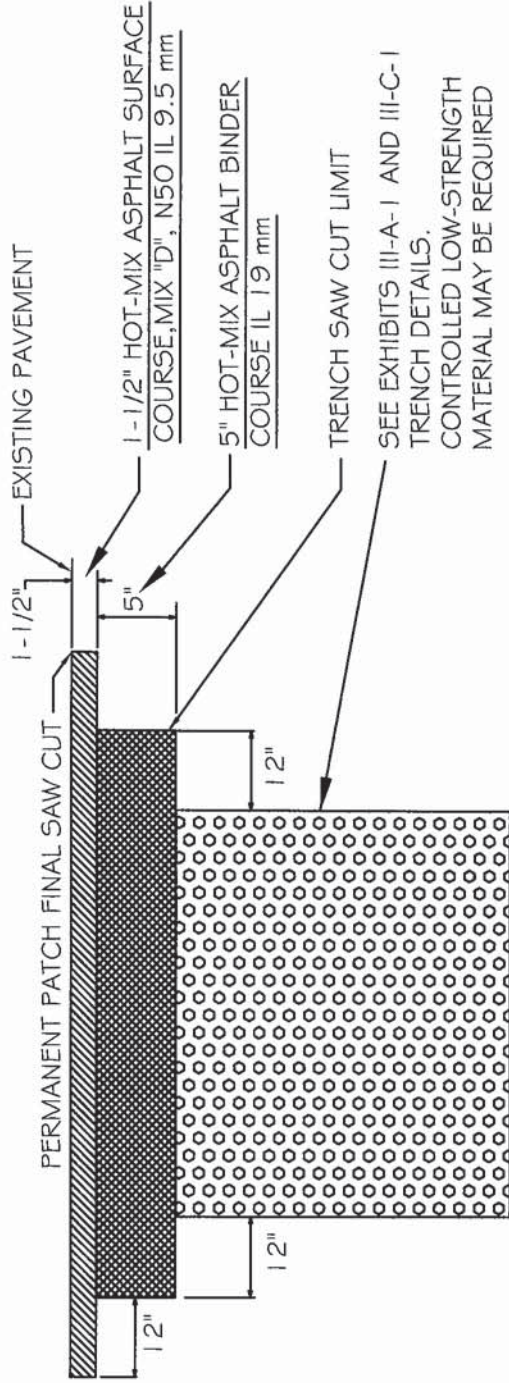




NOTES :

- 1.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH I.D.O.T. SPECIFICATIONS.
- 2.) CONTRACTOR SHALL MONITOR AND MAINTAIN THE CONDITION OF THE TEMPORARY PATCH BY PLACING ADDITIONAL COLD MIX TO PROVIDE A SMOOTH RIDING SURFACE
- 3.) THE CONTRACTOR SHALL COMPLETE A PERMANENT PATCH, PER APPROPRIATE DETAIL, WITHIN 14 CALENDAR DAYS OF THE COLD MIX PLACEMENT.
- 4.) WORK DONE AFTER DEC. 1ST. SHALL BE PERMANENTLY PATCHED BY MAY 15TH OF THE FOLLOWING YEAR.
- 5.) ALL MATERIAL SHALL MEET CURRENT I.D.O.T. STANDARD SPECIFICATIONS.

		REVISIONS		TEMPORARY PATCH DETAIL			
		DATE: 10-26-11	BY: D. GOEWEY			SCALE: NOT TO SCALE	CHECKED: DF
					DATE: 1/04	DRAWN: NM	



#### NOTES :

1. A STEEL PLATE SHALL BE PLACED OVER ANY TRENCH REMAINING OPEN TO TRAFFIC PRIOR TO THE INSTALLATION OF THE HOT-MIX BINDER AND SURFACE COURSES.
2. THE ENTIRE STREET FROM CURB TO CURB OR JOINT TO JOINT SHALL BE RESURFACED UNLESS EXPRESSLY PERMITTED BY THE CITY ENGINEER OR HIS DESIGNEE. THE PERMANENT PATCH SHALL BE MILLED SQUARE OR RECTANGULAR AND SHALL ENCOMPASS THE TRENCH AREA WITH A MINIMUM OF 12" INCHES BEYOND THE WIDEST OR LONGEST SAW CUT LIMITS OF THE TRENCH.
3. THE EDGES OF THE EXISTING PAVEMENT SHALL BE SAW CUT AND PRIMED PRIOR TO THE PLACEMENT OF THE SURFACE COURSE.
4. ANY SURFACE VARIATIONS  $\frac{1}{4}$ " OR GREATER SHALL BE CORRECTED BY REMOVAL AND REPLACEMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH ILLINOIS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
6. ALL MATERIAL SHALL MEET CURRENT ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



#### REVISIONS

DATE: 02-01-13 BY: DG

### MINOR COLLECTOR AND LOCAL RESIDENTIAL PERMANENT PATCH DETAIL

DRAWING NUMBER:

CHECKED: DF

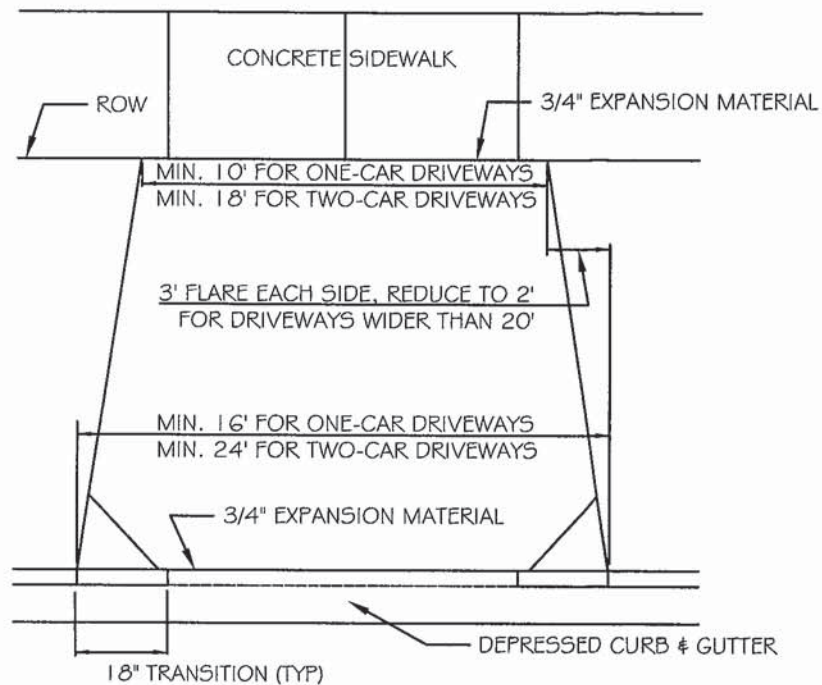
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DATE: 1/04

DRAWN: NM

EXHIBIT II-C-2

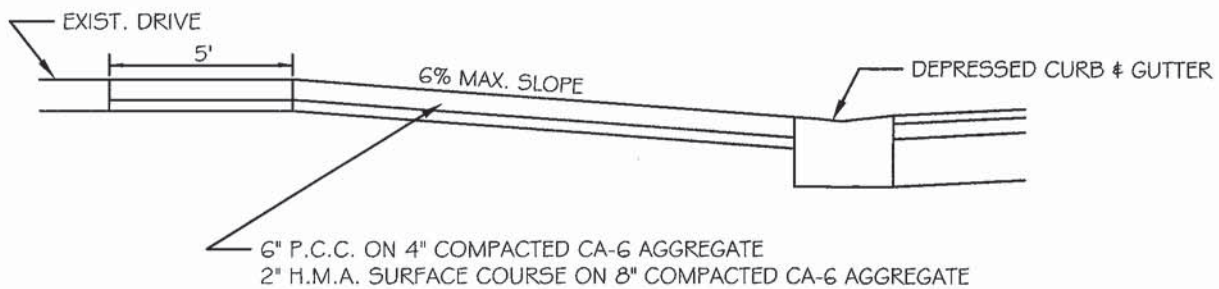




PLAN VIEW

NOTES:

1. IN CITY OF AURORA ESTABLISHED HISTORIC DISTRICTS, DRIVEWAY DIMENSIONS SHALL BE ADJUSTED TO CONFORM TO THE APPROVED STANDARDS.
2. CONTRACTION JOINT DEPTH SHALL BE 1-1/4" MIN.
3. CONTRACTION JOINTS SHALL DIVIDE THE APRON INTO SLABS APPROXIMATELY SQUARE WITH NO SIDE LONGER THAN 8'.



PROFILE VIEW



REVISIONS

DATE: 01/2013 BY: DG

RESIDENTIAL DRIVE APPROACH

SCALE: NOT TO SCALE

DATE: 1/04

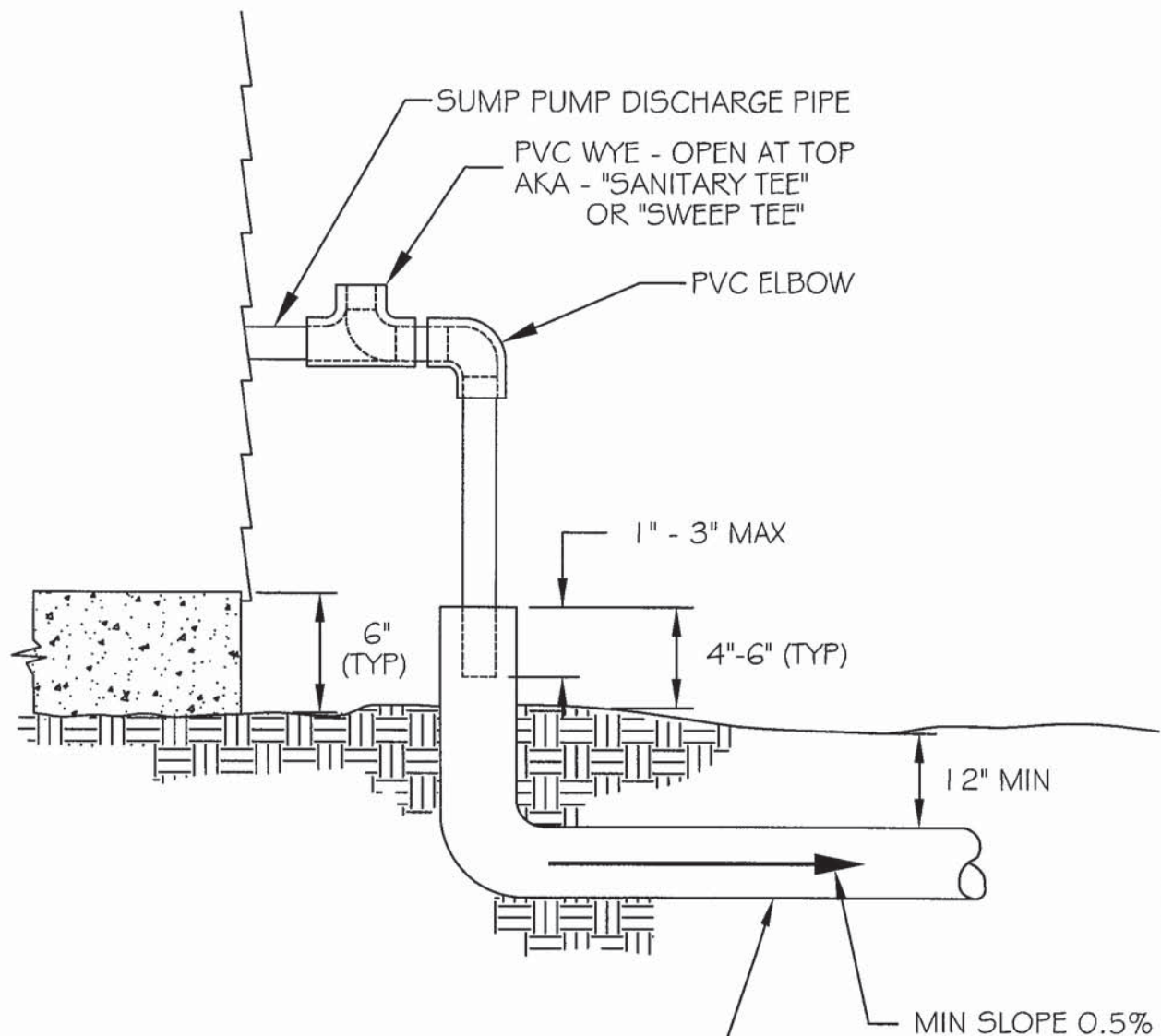
CHECKED: DF

DRAWN: NM

DRAWING NUMBER

EXHIBIT II-C-7





SUBSURFACE CONNECTION  
VIA PVC SDR 26. MIN 4" DIA  
(MIN 6" DIA IF MORE THAN TWO CONNECTIONS)

NOTE: THE ABOVE CONFIGURATION HAS BEEN FIELD TESTED AND SHOULD NOT RESULT IN SPLASHBACK AGAINST THE HOUSE. HOWEVER, IF NECESSARY, AN ELBOW CAN BE ADDED TO THE TOP OF THE PVC WYE TO DIRECT BACKFLOW TOWARDS THE YARD RATHER THAN TOWARDS THE HOUSE.



REVISIONS	
DATE: 1/04	BY: N. MECHLIN
8/08	D. GOWEY
01/2011	jhs

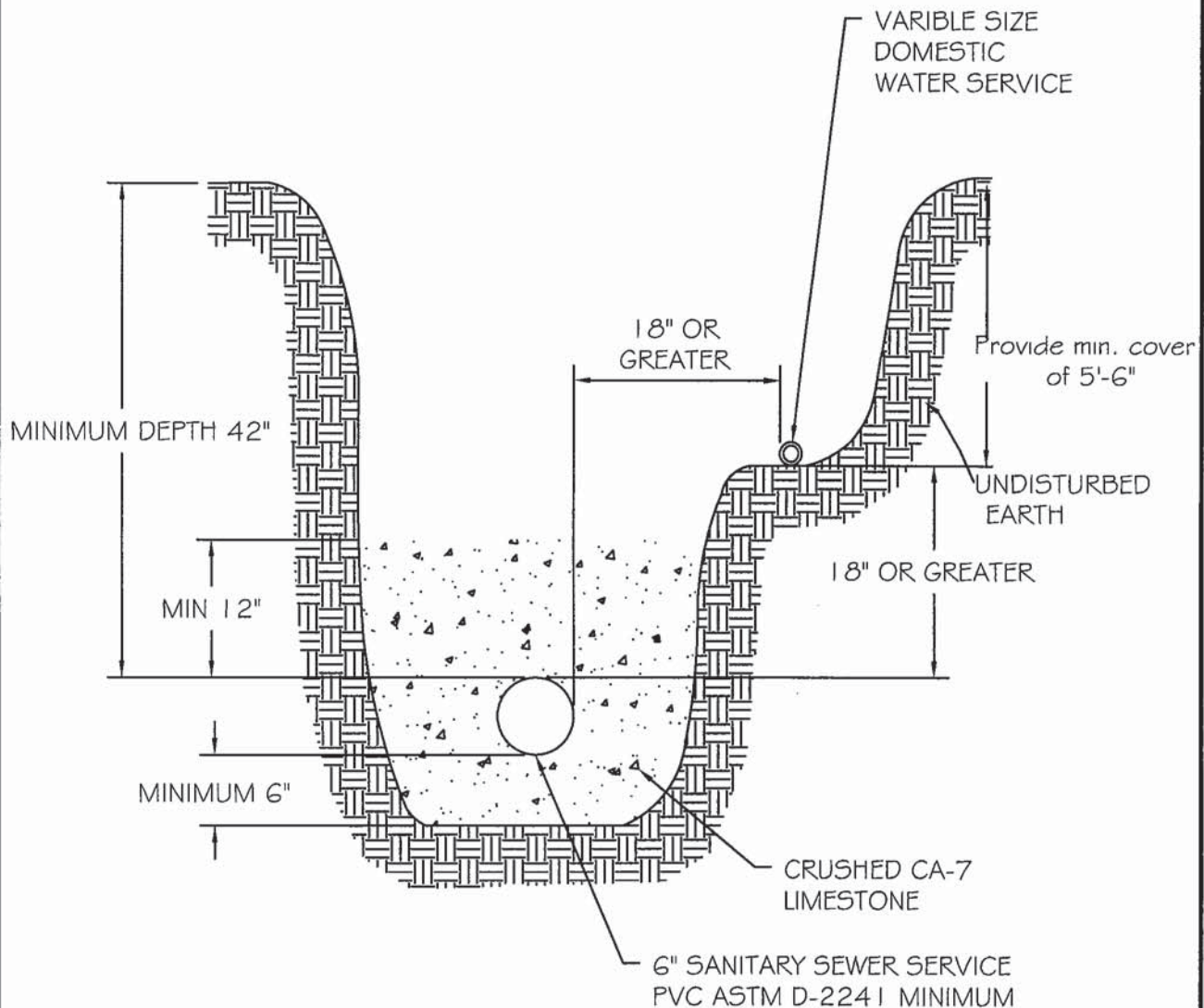
## SUMP PUMP CONNECTION

SCALE:  
NOT TO SCALE  
DATE: 06/02

CHECKED:  
DF  
DRAWN:  
D. GOWEY

DRAWING NUMBER  
EXHIBIT III-A-2

REQUIRED WHEN A SEPARATE TRENCH OR A TEN  
FOOT (10') MINIMUM SEPARATION IS NOT POSSIBLE.  
REFER TO THE STANDARD SPECIFICATIONS FOR  
WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.



### REVISIONS

DATE: 01/2011 BY: jhs

## SANITARY AND WATER SERVICE SEPARATION

SCALE:  
NOT TO SCALE

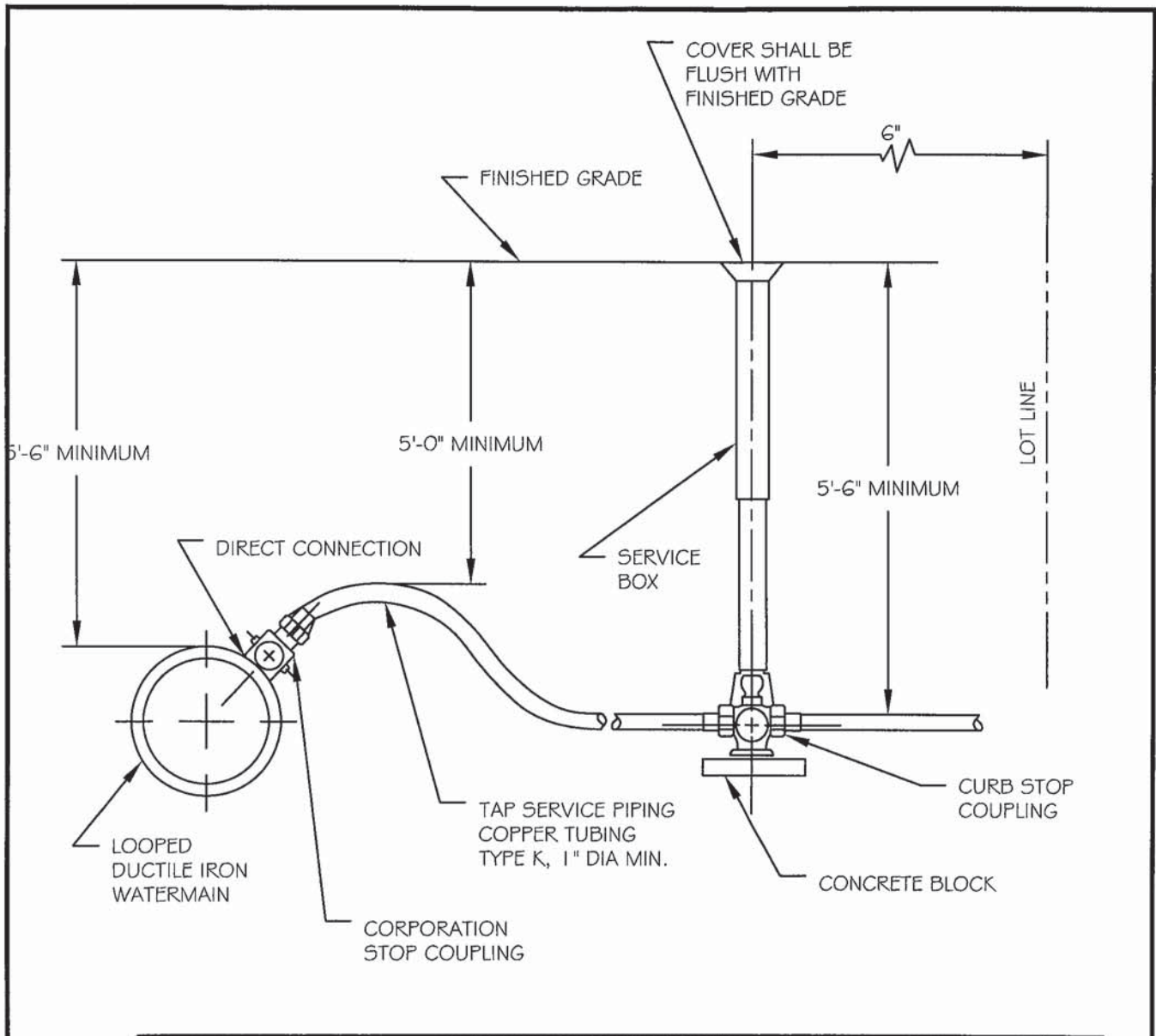
DATE: 1/04

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DRAWING NUMBER

EXHIBIT III-C-2



REFER TO THE STANDARD SPECIFICATIONS FOR IMPROVEMENTS FOR CORPORATION COUPLING, SERVICE BOX, CURB BOX, AND PIPE MATERIAL, TYPE, MANUFACTURE, AND SIZES.

NOTES:

1. WHEN WATERMAIN IS LOCATED WITHIN AN EASEMENT RATHER THAN THE PUBLIC RIGHT-OF-WAY, THE B-BOXES MUST ALSO BE LOCATED WITHIN THE EASEMENT.



REVISIONS	
DATE:	BY:
08-21-08	JLM
01/2011	jhs

TYPICAL WATER SERVICE TAP AND BOX		
SCALE:	CHECKED:	DRAWING NUMBER
NTS	DF	EXHIBIT III-C-6
DATE:	DRAWN:	
06/02	NM	